



**AMENDMENT
to
TAMBERLY TRADE CENTER
INDUSTRIAL CONDOMINIUMS
DECLARATION**

This Amendment to Tamberly Trade Center Industrial Condominiums Common Interest Community (Condominium) Declaration (ADeclaration@), dated July 1, 2002 (AAmendment@) is executed as of the 21st day of July, 2003, by 1501 Lee Hill , LLC, a Colorado limited liability company, Declarant.

RECITALS

A. The original Declaration was recorded on August 16, 2002 at Reception # 2320433 in the Records of the Clerk and Recorder of Boulder County, Colorado.

B. The party set out on the signature page to this Amendment (the AOwner@) still owns twenty-three of the twenty-four total units subject to the Declaration, or 95% of the total Units. Accordingly, the Owner has the power and authority to amend the Declaration as set forth in Article XV of the Declaration.

C. The Owner desires to amend the Declaration as set forth in this Amendment, and does hereby amend the Declaration, pursuant to C.R.S. ' 38-33.3-217, as follows:

AMENDMENT TO DECLARATION

1. Article XII of the Declaration, entitled AAdditions, Alterations and Improvements,@ is hereby revised to add the following subsection 2 d.:

Unit Owners may penetrate the roof and/or mount mechanical equipment directly above their Unit, upon prior written approval of Unit Owners= plans and specifications for doing so by the Executive Board or an architectural review committee. Once written approval is obtained by Unit Owner from the Executive Board, Unit Owners may execute the approved work provided they use professional, licensed contractors who have experience specific to the proposed work and follow the guidelines and specifications outlined in Attachment "A." Any leakage resulting from any such penetration shall be the sole and exclusive responsibility of the Unit Owner undertaking the work. In that event, any damages which may occur as a result of such roof penetration shall become a Common Expense against that unit, and may be assessed against the Unit in accordance with Article XVIII of the Declaration.

2. Except as amended by this Amendment, the Owner hereby ratifies, confirms and approves the Declaration.

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IN WITNESS WHEREOF, the Owner has executed this Amendment as of the day and year first written above.

1501 Lee Hill, LLC, a Colorado limited liability company

By: [Signature]
Kimberly Horning, Manager/Member

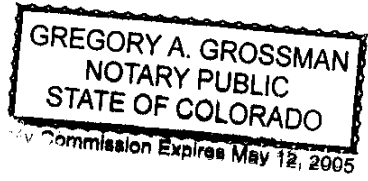
Address: 5845 Rawhide Court, Suite A
Boulder, CO 80302

STATE OF COLORADO :
COUNTY OF Boulder :

The foregoing instrument was acknowledged before me this 31st day of July, 2003, by Kimberly Horning, Manager of Kimberly Enterprises LLC, A Colorado Limited Liability Company Manager of 1501 Lee Hill, LLC, a Colorado Limited Liability Company.
Witness my hand and official seal.

[Signature]
Notary Public

My Commission Expires: 5/12/2005





Attachment "A"

To: All Contractors at 1501 Lee Hill Drive

Re: Roof Penetrations

Date: 6-24-03

From: DSRW General Contractor (Calahan)

The roof on the facility is a standing seam roof that has been engineered to expand and contract over its entire length. Placing too much weight without adequate support or penetrating it without proper installation of appropriate curbs and flexible pipe flashing will cause leaks and will void any manufacturers warranty.

The following procedure and phone numbers will aid in being sure roof penetrations will be done correctly.

**All sealing of roof penetrations will be done by the contractor who installed the roof. To aid in this process, Mark Janike, Owner of Steel Erection Services, has agreed to have a man available on Fridays to install rooftop accessories.
Call 303-489-8070 or fax 206-203-0330 to schedule appointments for Fridays.**

Under 250 lbs. Under this weight for the roof top unit will not require engineering. See attached letter (exhibit A) for explanation as to where these units should be located on the roof. The fasteners are available from Mark (303-489-8070) or can be ordered from the attached sheet. (Exhibit B). These are only to be used for roof top units under 250 lbs! All others must be engineered by the manufacturer of the roof (Star Building Systems)

Over 250 lbs. Over this weight requires engineering to assure the integrity of the roof is maintained. Contractor for any mechanical units over 250 lbs must contact DSRW Company (Calahan Construction- **Larry Fore 303-595-0214 Ext 204 or fax 303-571-5217**) and make available the following:

1. A layout showing the proposed equipment location
2. Weight of the equipment
3. How it is to be attached to the roof structure that includes location of support pipes and applied loads. Attached is a sample of how units will be attached (Exhibit C)

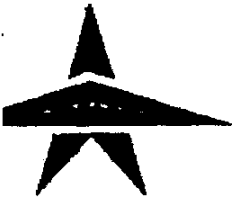
Allow a minimum of ten days (maybe more depending on Star's work load) for the engineering from the time they receive it.



Costs:

Costs will vary. A penetration for a pipe involves a pipe flashing that can range from \$15 to \$80 depending on the size of the pipe. The labor also varies depending on the type of installation. The labor for a pipe flashing is considerably different than a full opening with a curb. With questions and estimates call Mark Janicke (303-489-8070).

Engineering has a much wider range from a minimum of \$250 to one quote that could be as much as \$2500. This higher figure comes from an extremely heavy unit (2500lbs) that spans several rafters. The steel reinforcement of the roof to support such a load will be very expensive. The type of equipment one puts on the roof can greatly affect your expense. With questions and estimates call Larry Fore (303-595-0214 ext 204)



Exhibit



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Star Building Systems

June 12, 2003

**CALAHAN CONSTRUCTION CO
95 RIO GRANDE BOULEVARD
DENVER, CO 80223-1515**

**Subject: 1501 LEE HILL RD LLC.
Boulder, Colorado
SMTS 74'-4 x 598'-8 x 18' Is
24'-4 & 25' Bay Spacings**

Gentlemen:

This is to confirm that the material supplied by Star Building Systems for the subject project, may support equipment attached to the purlins for limited conditions.

A 250 lb weight may be supported from a minimum of 2 rows of purlins if the weight is located no more than 3 feet from the frame and that there are no more than 2 weights on any given frame. If roof penetrations are needed, details shown on Star's standard erection drawing sheet numbers 37.31.02 and 37.34.02 shall be followed.

If the equipment weight exceeds 250 lbs or the location does not meet the above criteria, Calahan Construction shall be provided with a layout showing the proposed equipment location, method of attachment to the roof structural, and the weight of the equipment. With the layout, Calahan Construction can obtain an engineering review of the roof framing to determine what modifications would be required to support the equipment.

Cordially,

**STAR BUILDING SYSTEMS
Materials for Metal Buildings
a Robertson Ceko Company**

/dc



How do you attach *almost anything* to a standing seam roof ...

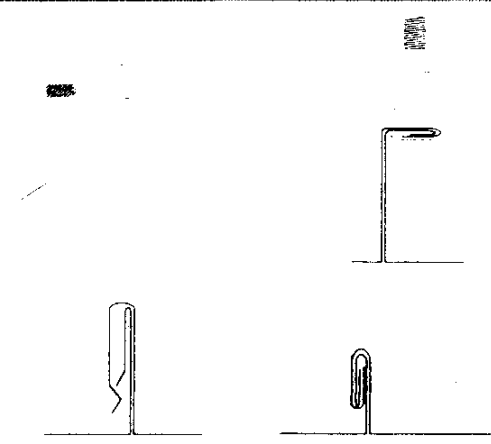
...without piercing the panels?



60% actual size
(bolt included)

S-5!™

www.S-5solutions.com



- No holes
- No leaks
- No corrosion
- No caulking
- No restriction of thermal movement
- No panel damage
- No wood blocking
- No callbacks
- No warranty violation
- No Problems

It's the right way to attach things to standing seam panels!

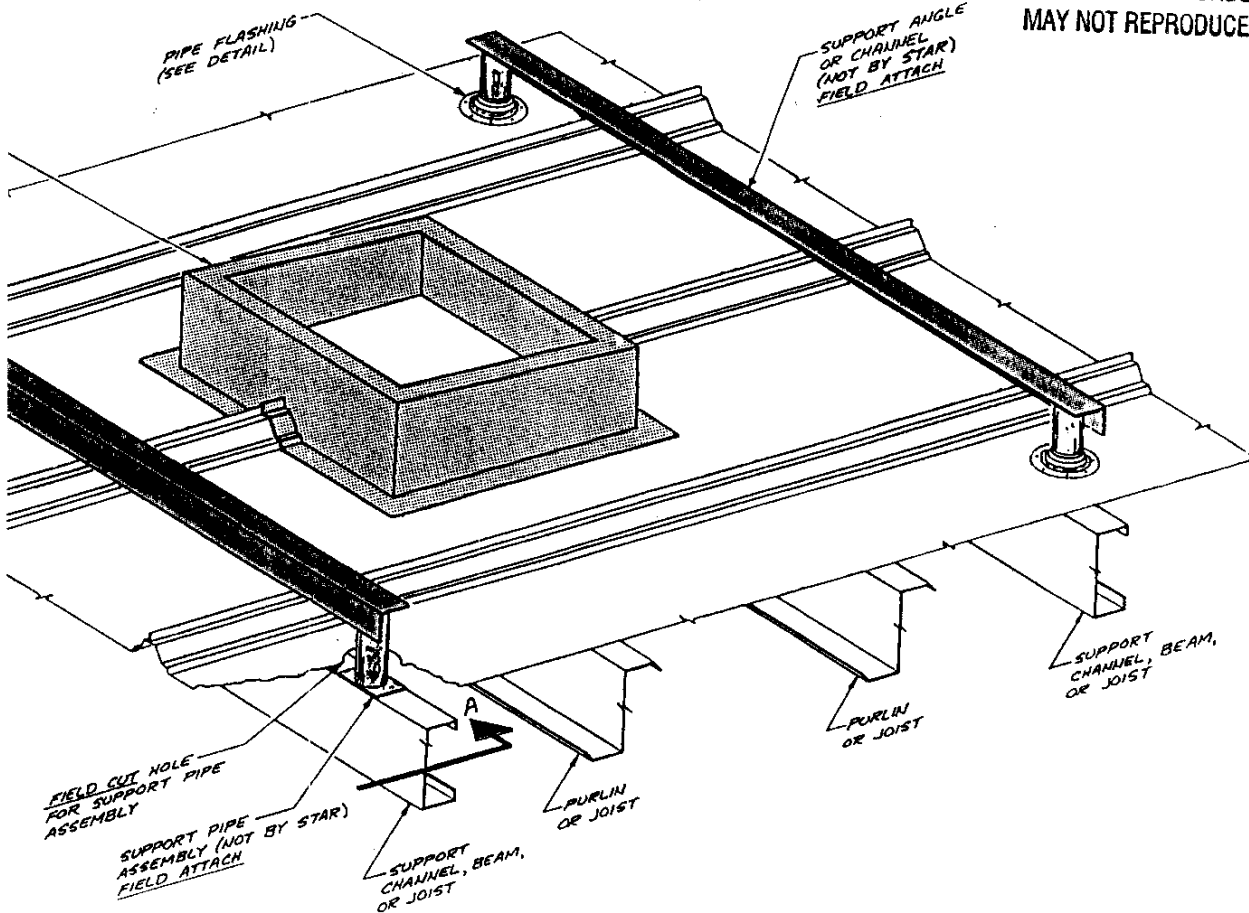
DYNAMIC FASTENER

800-821-5448

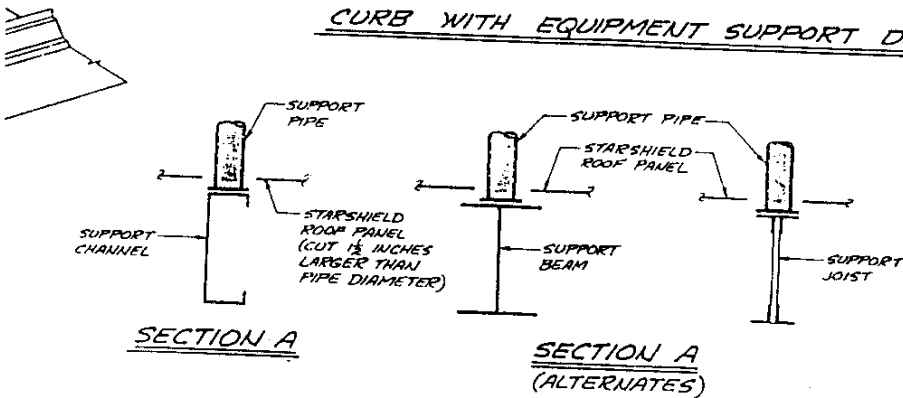


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RECORDER'S NOTE:
PORTION OF RECORDED DOCUMENT
MAY NOT REPRODUCE LEGIBLY.



CURB WITH EQUIPMENT SUPPORT DETAIL




Design of structural support beams by Star requires that location of support pipes and applied loads be provided to Star.

Molded curb opening must be large enough to provide clearance to penetrating equipment to allow for thermal expansion and contraction.

A minimum of 4" clearance must be provided between support angle/channel (not by Star) and top of StarShield rtb.

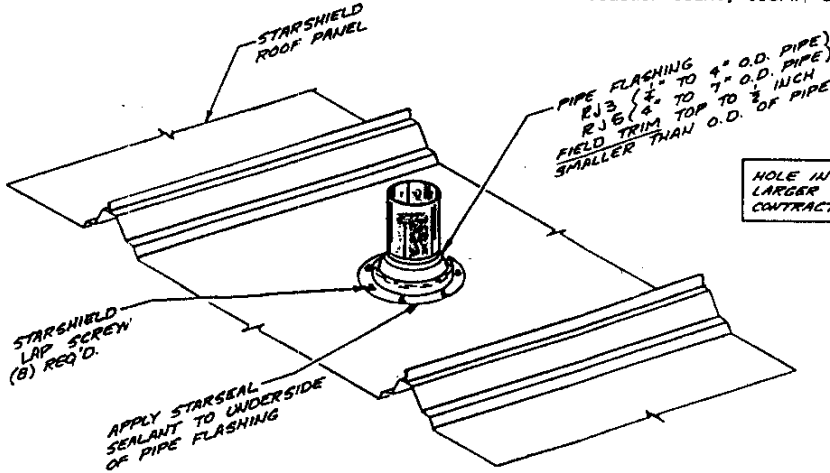
Molded curb must not be relied upon to provide structural support for mechanical equipment.

DATE	STAR BUILDING SYSTEMS a Robertson Ceco company		STARSHIELD ROOF ROOF CURB AND PIPE FLASH DETAILS	37.31.02
DATE				1-2-94



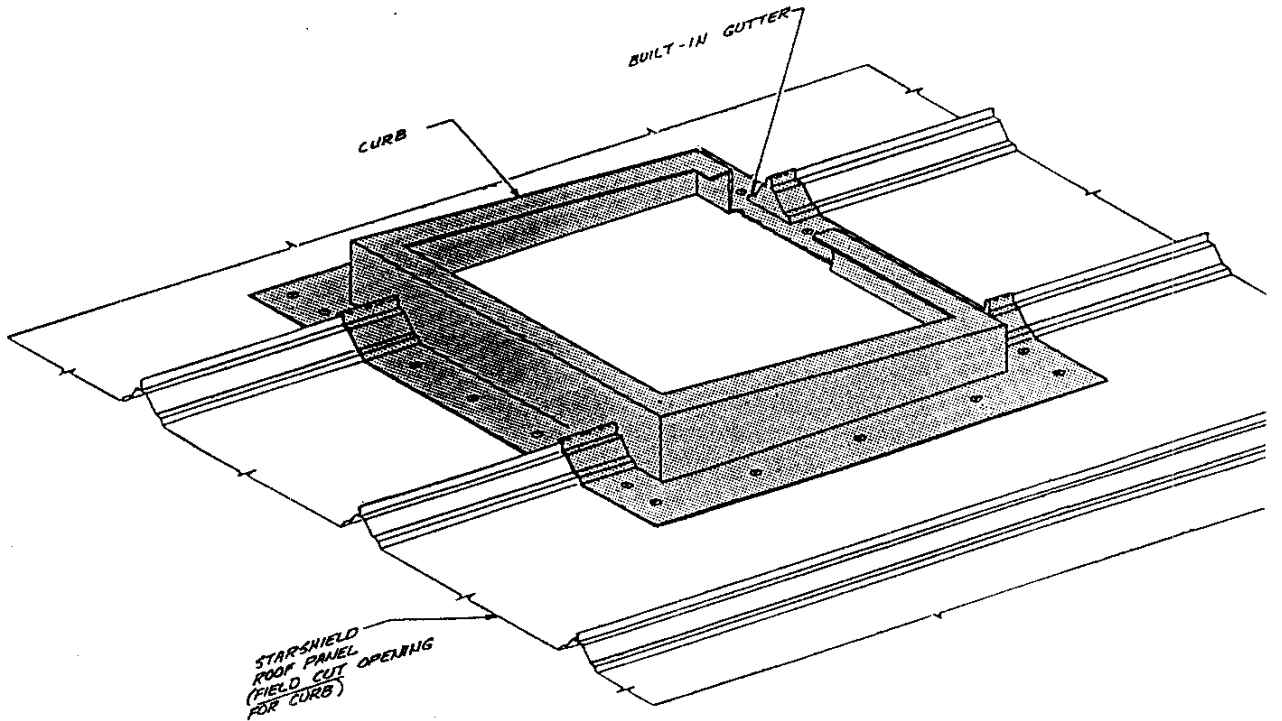
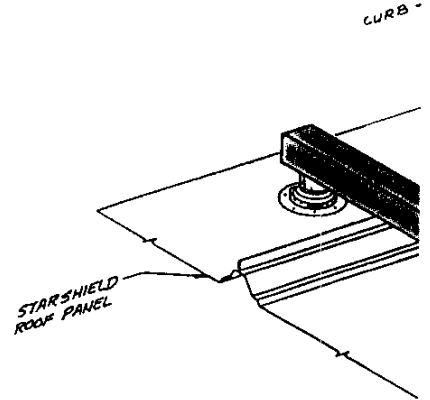
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HOLE IN ROOF PANEL MUST BE 1/2 INCHES LARGER THAN PIPE TO ALLOW FOR CONTRACTION/EXPANSION MOVEMENT.

PIPE FLASHING

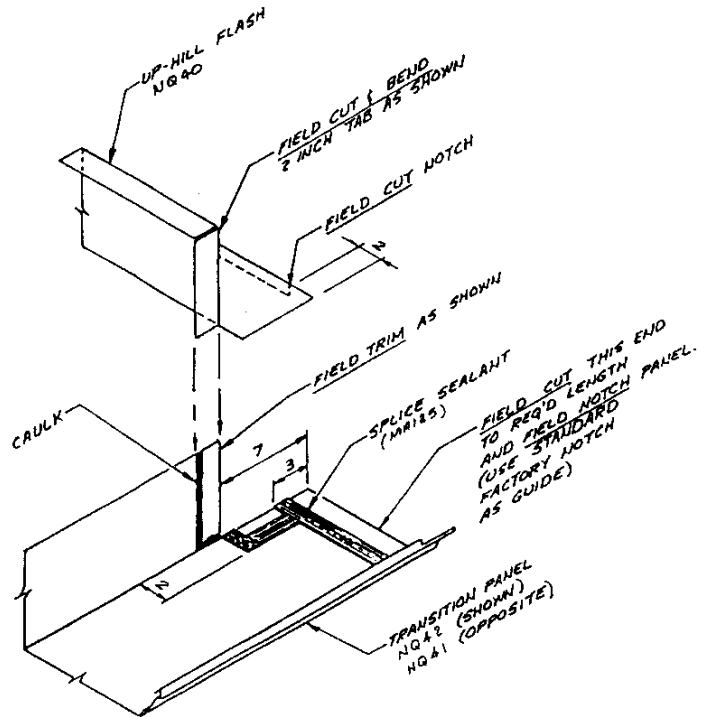
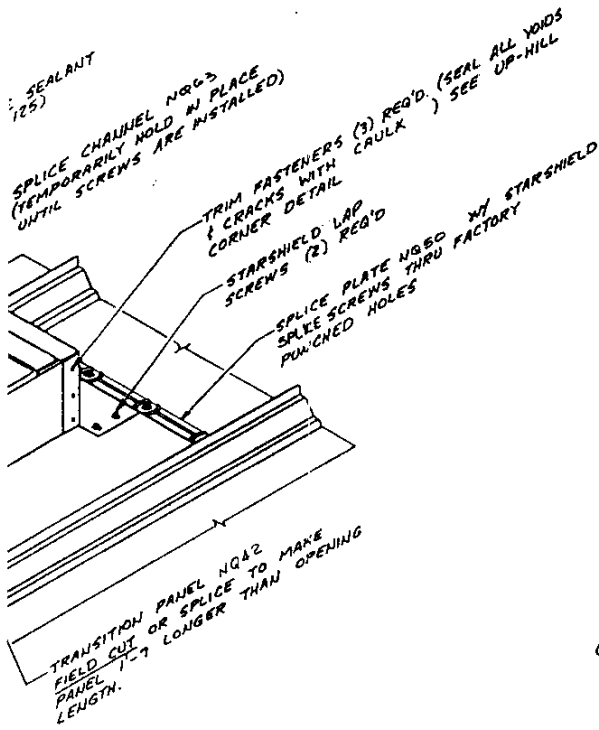


CURB DETAIL

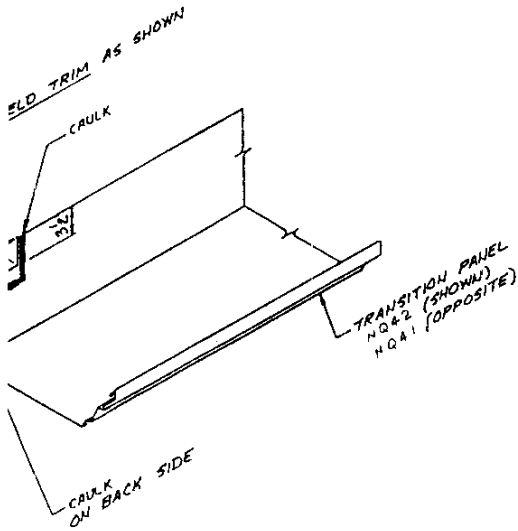
REVISIONS	BY	DATE	NOTES
2 CHANGE TO NEW PART NUMBER SCHEME	LR EC		THIS DRAWING IS NOT TO SCALE



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UP-HILL CORNER DETAIL



DETAIL

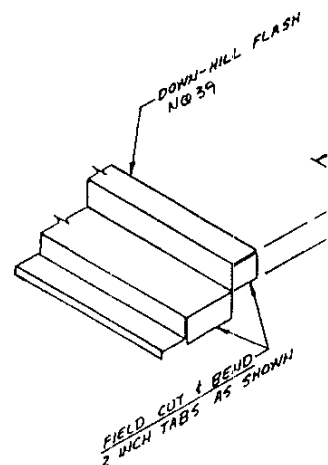
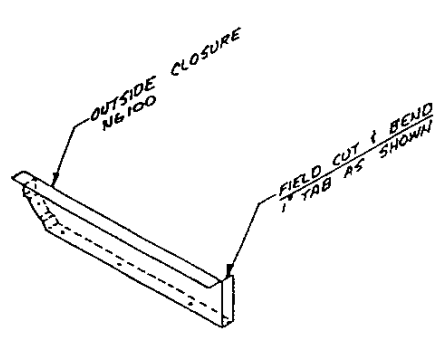
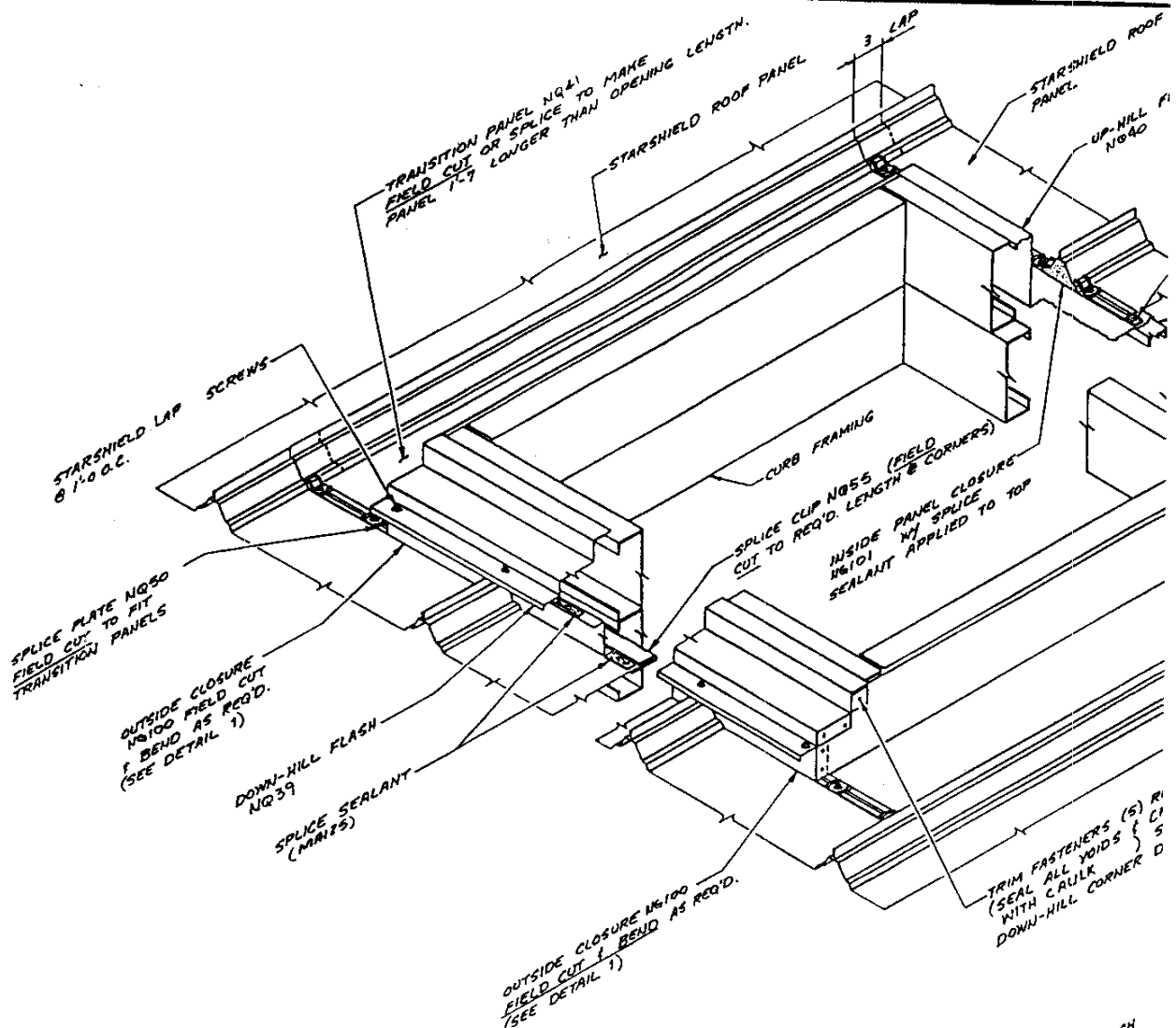
DWN BY LE	DATE	STAR BUILDING SYSTEMS a Robertson-Ceco company		STARSHIELD ROOF ROOF CURB DETAILS	37.34.02
CHG BY	DATE			1-2-94	



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Boulder County Clerk, CO AMD COND DEC R 51.00

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DETAIL 1
ONE PART AS SHOWN
ONE PART OPPOSITE

DOWN-HILL C

REVISIONS	BY	DATE	NOTES
1 GENERAL REVISION	MB		THIS DRAWING IS NOT TO SCALE.
2 CHANGE TO NEW PART NUMBER SCHEME	LR	LC	